

1471750 \$490

REF: P1610934
LAND NO. 124995
26 MAY 2016
OFFICER:



MORNINGTON PENINSULA Shire

COMMITTED TO A SUSTAINABLE PENINSULA



Application for a Planning Permit

Use this form to make an application for a planning permit under Section 47 of the *Planning and Environment Act 1987* and to provide the information required by Regulation 15 of the *Planning and Environment Regulations 2005*.

Supplementary information requested in this form should be provided as an attachment.

Privacy notice

All information collected as part of this permit application will be available for public inspection in accordance with Section 51 of the *Planning and Environment Act 1987*. If you fail to provide this information, your application may not be processed. The information collected about you as part of the planning permit process will be made available at your request.

1. Contact Council

Contact the planning unit on (03) 5950 1010 if needed to discuss the specific requirements for this application or to obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a Pre-application meeting with a Council officer?

Yes No
If yes, with whom? _____ Date: _____

2. The Land

Address of the land

Street No: 8	Street Name: FLAME TREE GROVE
Lot No: 4	On LP/PS No: 623978X
Township: MORNINGTON	Postcode: 3931

3. Existing Conditions

Describe how the land is currently being used E.g. Single dwelling, three dwellings, shop, factory, medical centre with two practitioners, licensed restaurant with 80 seats. A plan and photos of the existing conditions are helpful.

VACANT LAND & NO VEGITATION

4. The Proposal

Provide details of what you want to do with the land. The details must clearly convey the nature of the proposal. This will be used in any notice about the application. Attach additional information if there is insufficient room.

NEW 2-STOREY RESIDENCE
(LIGHT WEIGHT CONSTRUCTION - Rendered)

5. Costs of development (SINGLE DWELLING)

If a permit is required to undertake development, state the estimated cost of the proposed development. This is used to assess the amount of any fee you may have to pay.

Cost \$ 600,000 -
Write 'NIL' if no development is proposed (e.g. change of use, subdivision, removal of covenant, liquor licence)
I Note You may be required to verify this estimate.

MORNINGTON PENINSULA SHIRE
This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

6. Title Information

Encumbrances on title*

Check on title information:
Covenants, section 173 agreements and other restrictions are identified on the certificate of title.

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, a section 173 agreement or other obligation such as easements or building envelope?

- Yes (if 'yes' contact Council for advice on how to proceed before continuing with this application)
- No
- Not applicable (no such encumbrance applies)

Provide a full, current copy of the title (no more than three months old) for each individual parcel of land forming the subject site. (The title includes: the covering "registered search statement", the title plan of subdivision and the associated title documents, known as "instruments", e.g. restrictive covenants).

7. Applicant and owner details

Provide details of the applicant, contact and owner of the land

Applicant

The person who wants the permit

Name: ANESTI & HELEN ECONOMEDES
Organisation: Husband & Wife (PRIVATE DWELLING).
Postal Address: 18A NEPEAN HWY. DROMANA
Postcode: 3936

Contact phone: Mobile Phone: 0412 155 691
Email: anesti@paulalanprojects.com.au

Applicant Contact

The person you want council to communicate with about the application

(only complete if different from above)

Name:
Organisation:
Postal Address:
Postcode:

Contact phone: Mobile Phone:
Email:

Owner

The person or organisation who owns the land.

Same as applicant
Where the owner is different from the applicant, please provide the name of the person or organisation who owns the land.

Name: K + T Brown
Organisation (if applicable):

8. Site Access

The Planning Officer may need full access to the subject site (front and rear) as part of their assessment. Please indicate below if access is available:

- Full and safe access to the property is available
- Full and safe access to the property is not available

If full and safe access to the property is not available, please provide details of how a suitable inspection time can be arranged.

MORNINGTON PENINSULA SHIRE
This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

9. Checklist

Have you.....

<input checked="" type="checkbox"/>	Filled in the form completely (including the title information)?
<input checked="" type="checkbox"/>	Attached all necessary supporting information and documents?
<input checked="" type="checkbox"/>	A full, current copy of title information (no less than three months old) for each land parcel of land forming the subject site
<input checked="" type="checkbox"/>	Three copies of plans showing the layout and details of the proposal (include one reduced copy of A4 or A3 plans if A2 or above)
<input type="checkbox"/>	If required, a description of the likely effect of the proposal (e.g. traffic, noise, environmental impacts)
<input type="checkbox"/>	Attach additional information providing details of the proposal, including: Any information required by the planning scheme, requested by council or outlined in councils Fact File 'Planning Application Information Requirements'.
<input type="checkbox"/>	Paid or included the application fee? (Contact council to determine the appropriate fee)
<input checked="" type="checkbox"/>	Completed the relevant Council permit checklist? (please refer to Councils website for relevant application checklists)
<input checked="" type="checkbox"/>	Signed the declaration?

10. Declaration


This form must be signed

I Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that all the information in this application is true and correct and the owner(if not I) has been advised of the permit application.

Name: ANESTI ECONOMEDES


Owner
 Applicant


Signature: 

Date: 24/05/2016

Lodgement

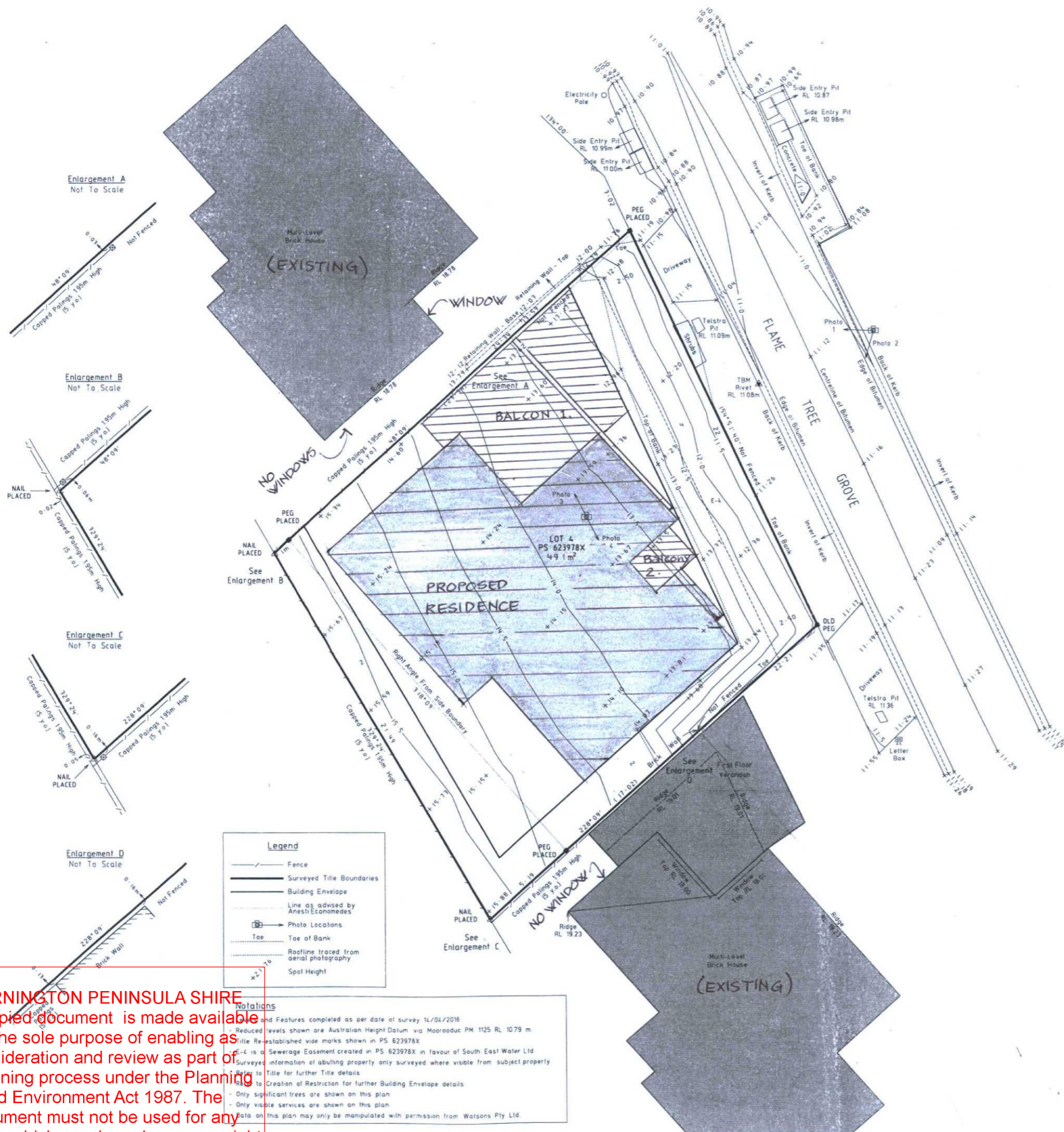
Lodge a hard copy of the completed signed form and all documents:

Mail: 
Mornington Peninsula Shire
Private Bag 1000
Rosebud, 3939

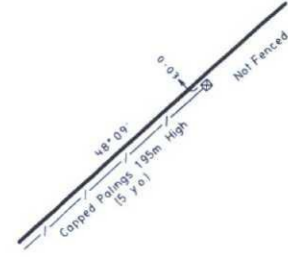
In Person: 
The Sustainable Environment Group is located at the Mornington Office, Queen Street, Mornington.
You can also lodge your application, with Councils Customer Service Staff, at the following offices;
Rosebud Office: Besgrove Street, Rosebud
Hastings Office: Marine Parade, Hastings
Somerville Office: Edward Street, Somerville

For help or more information
Telephone: ■ Planning Support (03) 5950 1010 and Fax: (03) 5950 1910
Email: statutory.planning@mormpen.vic.gov.au
Website: www.mormpen.vic.gov.au

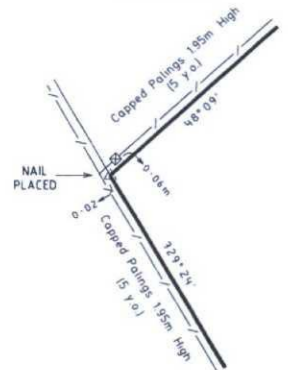
MORNINGTON PENINSULA SHIRE
This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



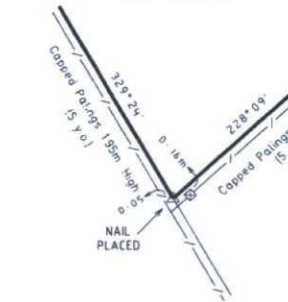
Enlargement A
Not To Scale



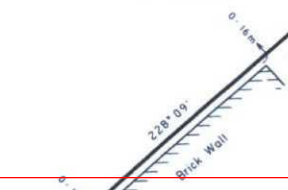
Enlargement B
Not To Scale



Enlargement C
Not To Scale



Enlargement D
Not To Scale



Legend

- Fence
- Surveyed Title Boundaries
- Building Envelope
- - - Line as advised by Anesti Economedes
- ⊙ Photo Locations
- Toe
- Roofline traced from aerial photography
- Spot Height

Notations

1. All Dimensions and Features completed as per date of survey 16/04/2016

2. Reduced levels shown are Australian Height Datum via Moorooduc PM 1125 RL 10.79 m

3. Title Re-established vide marks shown in PS 623978X

4. E-4 is a Sewerage Easement created in PS 623978X in favour of South East Water Ltd

5. Surveyed information of adjoining property only surveyed where visible from subject property

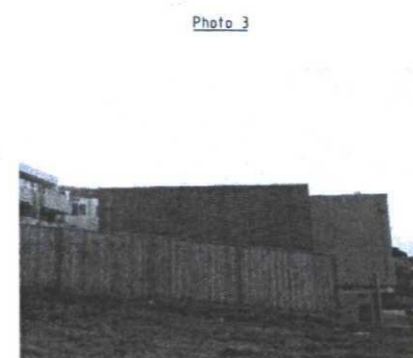
6. Refer to Title for further Title details

7. Refer to Creation of Restriction for further Building Envelope details

8. Only significant trees are shown on this plan

9. Only visible services are shown on this plan

10. Data on this plan may only be manipulated with permission from Watsons Pty Ltd.



CERTIFICATION BY SURVEYOR

I, Jonathan Trevor Neate of 5 Main Street, Mornington certify that this is a plan of Re-establishment of Title boundaries and was completed on the 14th April 2016, and, as such is not examined in the Land Registration Services. No responsibility can therefore be accepted for any future difference in boundary definition which may result from re surveys of adjoining lands or registration in the Land Registry Services of new survey plans

Digitally signed by Jonathan Trevor Neate
Date: 2016.04.20 15:33:13 +10'00'

Licensed Surveyor
Surveying Act 2004

THE LAND IN THE SURVEY IS SHOWN ENCLOSED BY CONTINUOUS THICK LINES

TITLE REFERENCE VOL 11261 FOL 207
LAST PLAN REFERENCE LOT 4 PS 623978X
STREET ADDRESS 8 FLAME TREE GROVE
MORNINGTON 3931

SCALE 1:100 at A1
1:200 at A3
SHEET 1 OF 1

LEVEL DATUM: AHD DESIGNED: M.F.B 15/4/2016
DATE PLAN CREATED: 20/04/2016 REF: 36907
k:\36907\DGN\36907LF A.dgn

COPYRIGHT - THESE DOCUMENTS AND THE INTELLECTUAL PROPERTY PRODUCED SHALL REMAIN VESTED WITH WATSONS PTY LTD IN ACCORDANCE WITH AGREED FEES. THE CLIENT SHALL HAVE A LICENSE TO USE THIS PRODUCT FOR THE PURPOSE OF COMPLETING THE PROJECT THIS PLAN IS NOT TO BE MANIPULATED WITHOUT THE PERMISSION OF WATSONS PTY LTD.

WATSONS
URBAN DEVELOPMENT CONSULTANTS & MANAGERS

- TOWN PLANNERS
- CIVIL ENGINEERS
- SURVEYORS
- PROJECT MANAGERS
- URBAN DESIGNERS
- STRUCTURAL ENGINEERS

MELBOURNE: The Melbourne Suite 2, 250 St Kilda Rd, Phone (03) 9597 8000, Fax (03) 9597 8099
MORNINGTON: 5 Main Street, Phone (03) 5975 4644, Fax (03) 5975 3916

COUNTY: MORNINGTON
PARISH: MOOROODUC
TOWNSHIP: —
SECTION: 22
CROWN ALLOTMENT: 1 (PART) & 2 (PART)

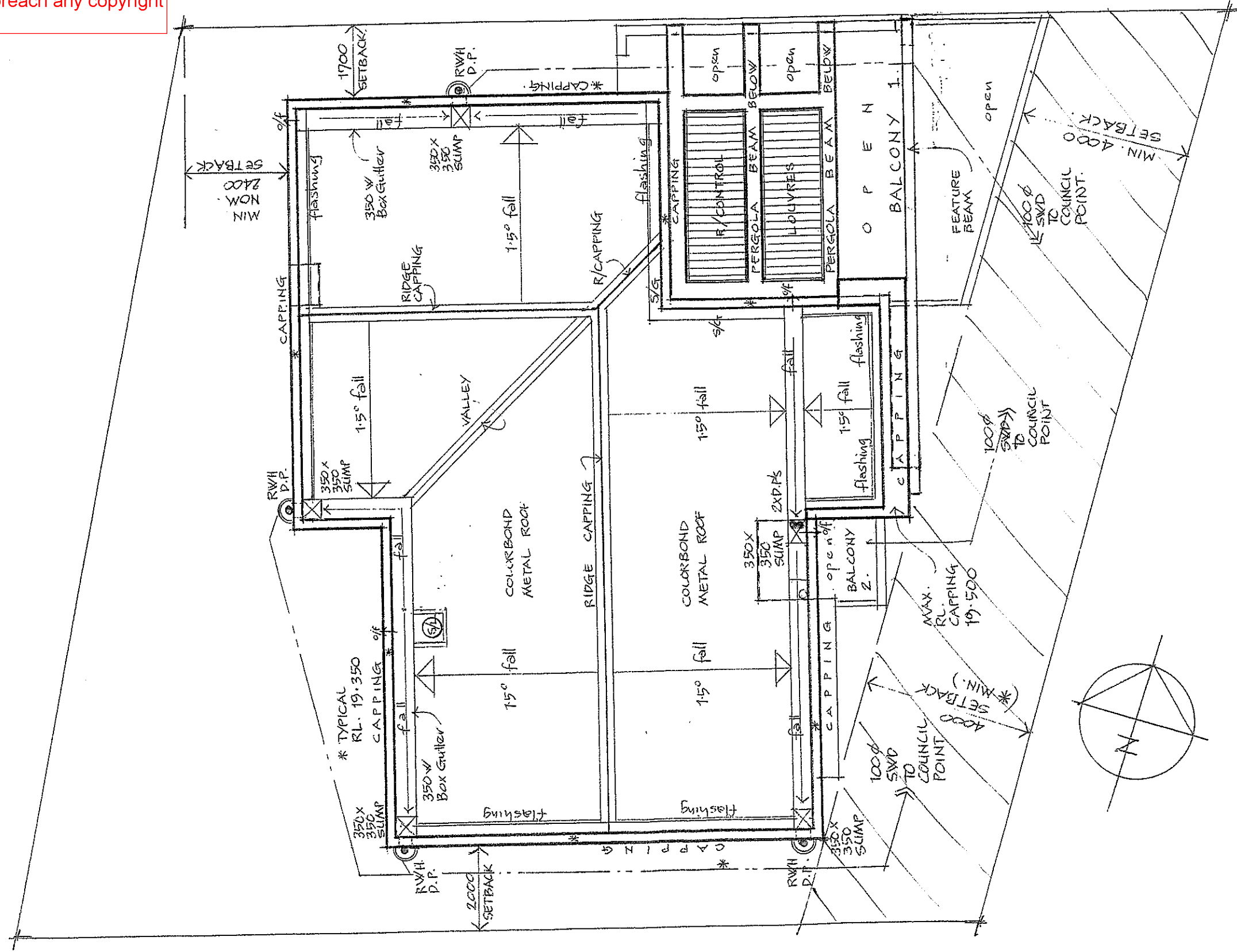
ANESTI ECONOMEDES
8 FLAME TREE GROVE
MORNINGTON 3931
MPSC
REF: 36907LF-A

PLAN OF LEVELS AND FEATURES AND RE-ESTABLISHMENT

WATSONS

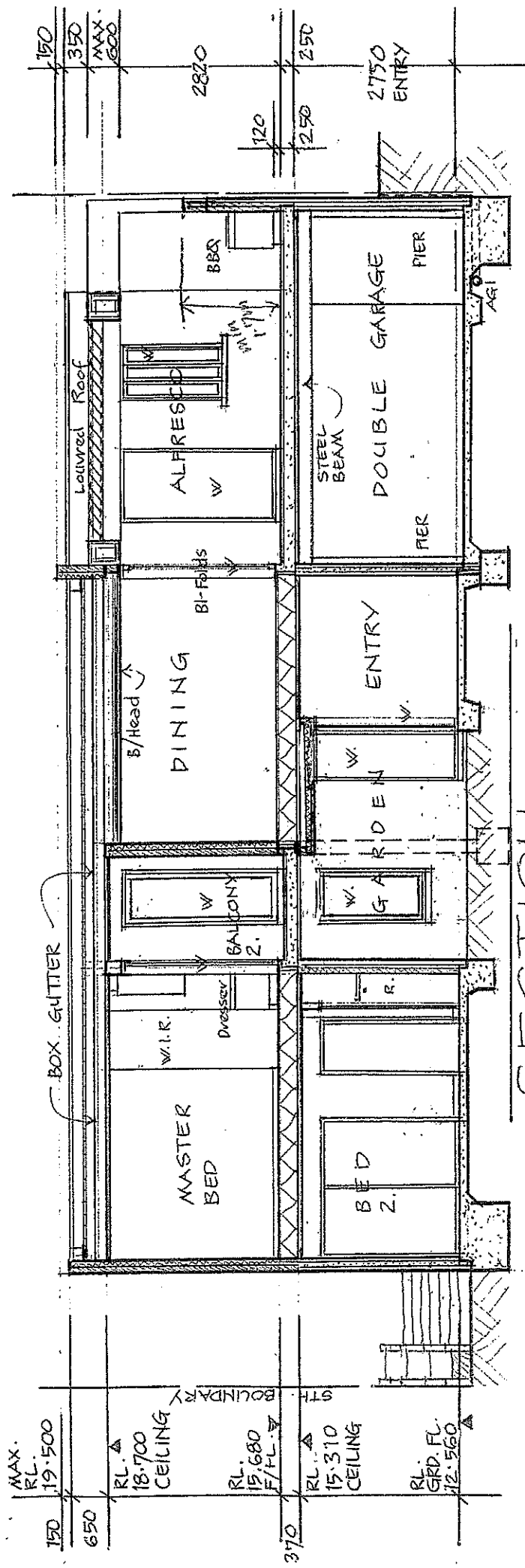
MORNINGTON PENINSULA SHIRE
This copied document is made available for the sole purpose of enabling consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

MORNINGTON PENINSULA SHIRE
 This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

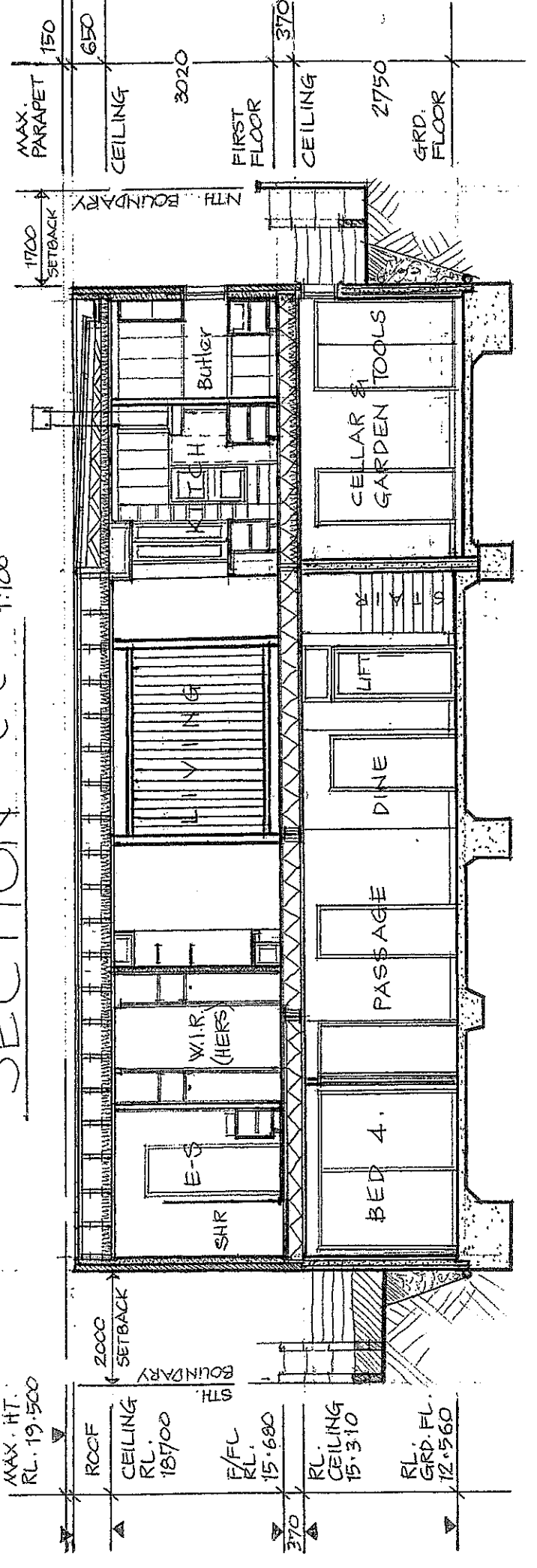


PROPOSED: RESIDENCE
 AT: 8 FLAME TREE GROVE
 FOR: MR & MRS. A. ECONOMIDES
 DRG. No. TP-05 22/5/16

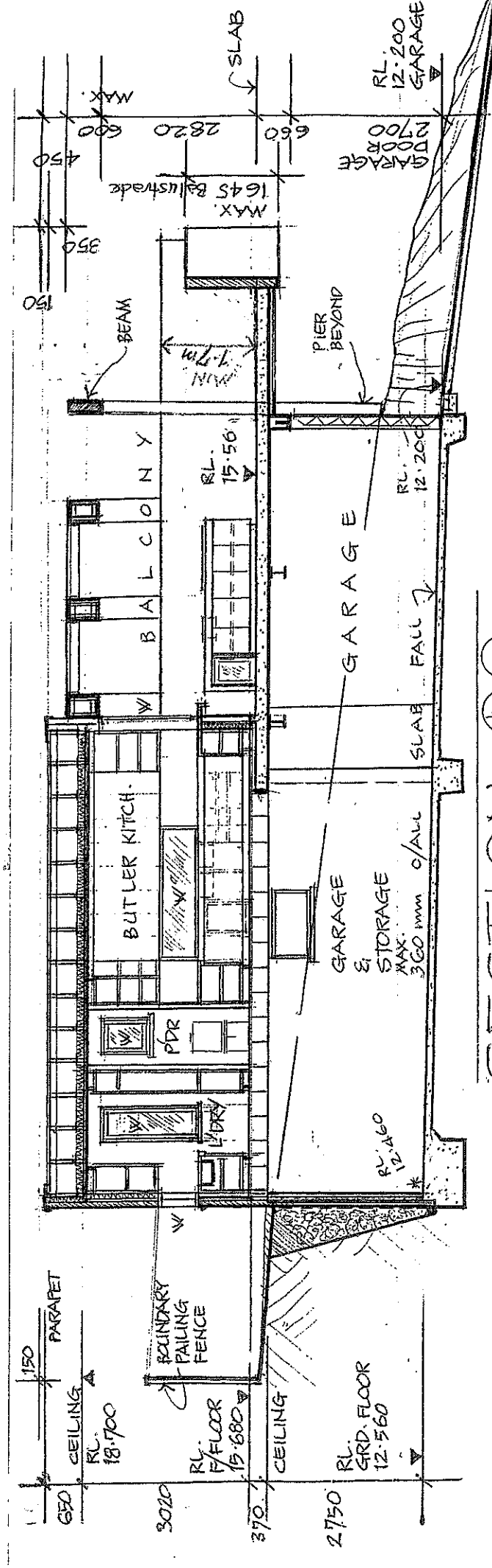
ROOF PLAN 1:100



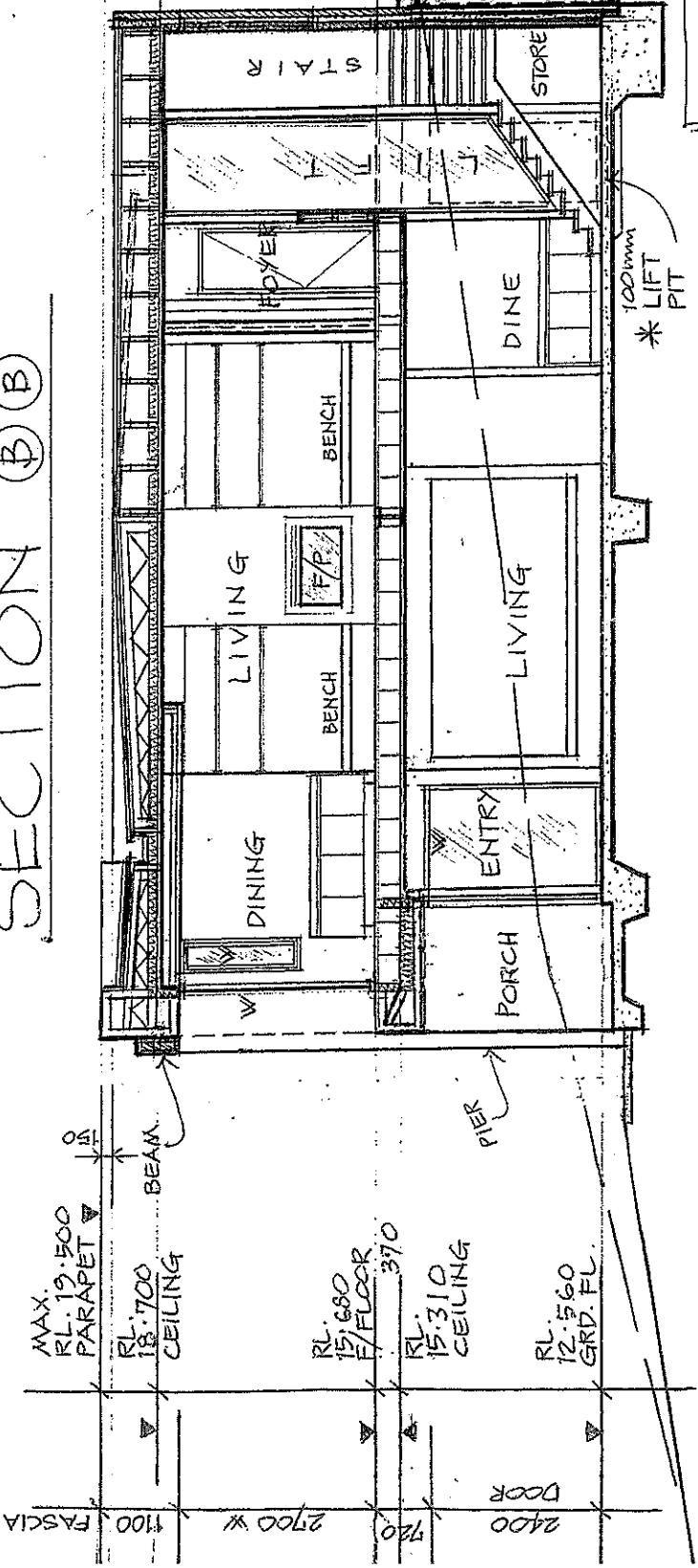
SECTION C C 1:100



SECTION D D 1:100



SECTION B B 1:100



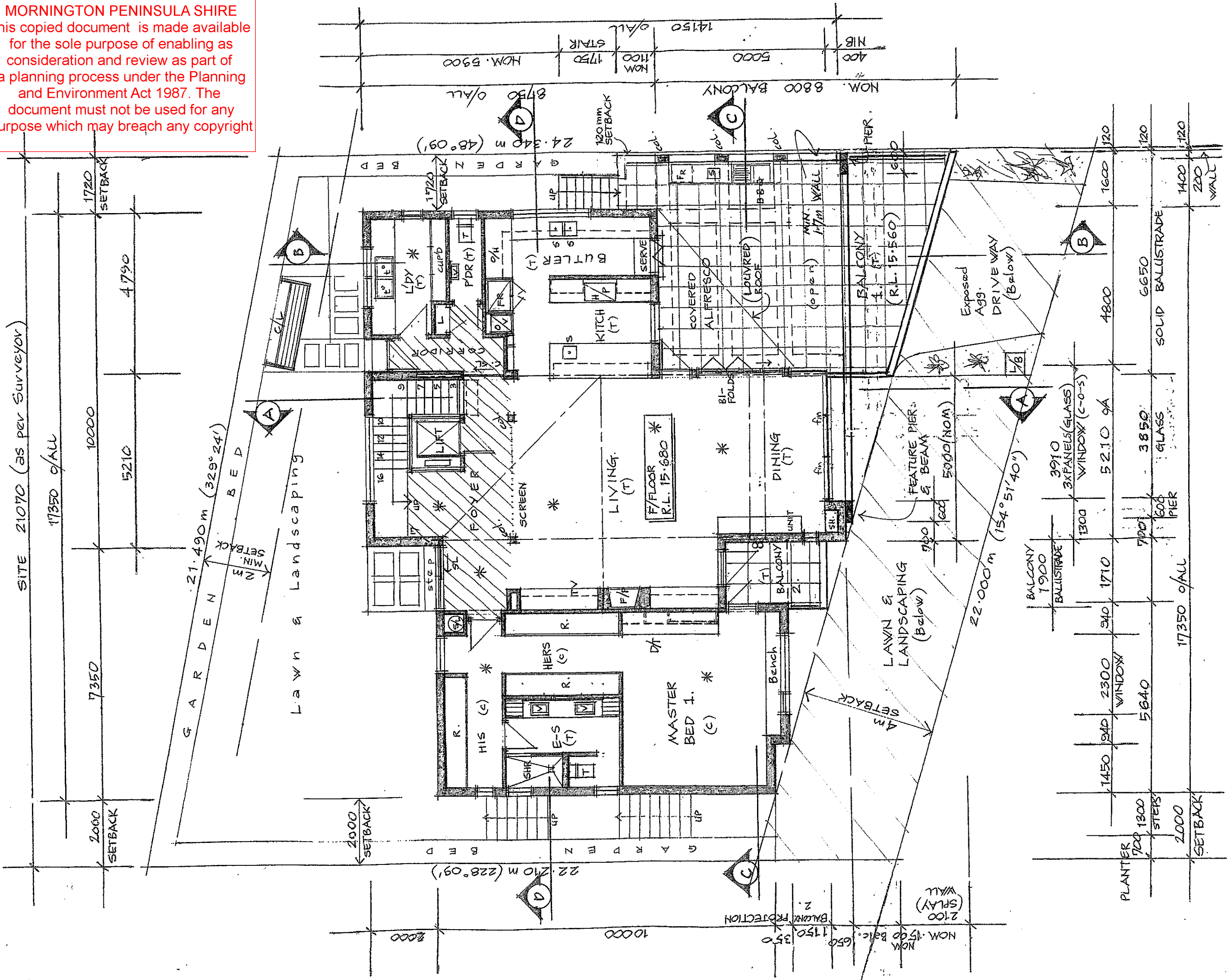
SECTION A A 1:100

* LEVELS TO A.H.D.

MORNINGTON PENINSULA SHIRE
 This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

PROPOSED: RESIDENCE
 AT: 8 FLAME TREE GROVE MORNINGTON
 FOR: MR & MRS. A. ECONOMIDES
 DRG. NO. TP-04.

MORNINGTON PENINSULA SHIRE
 This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



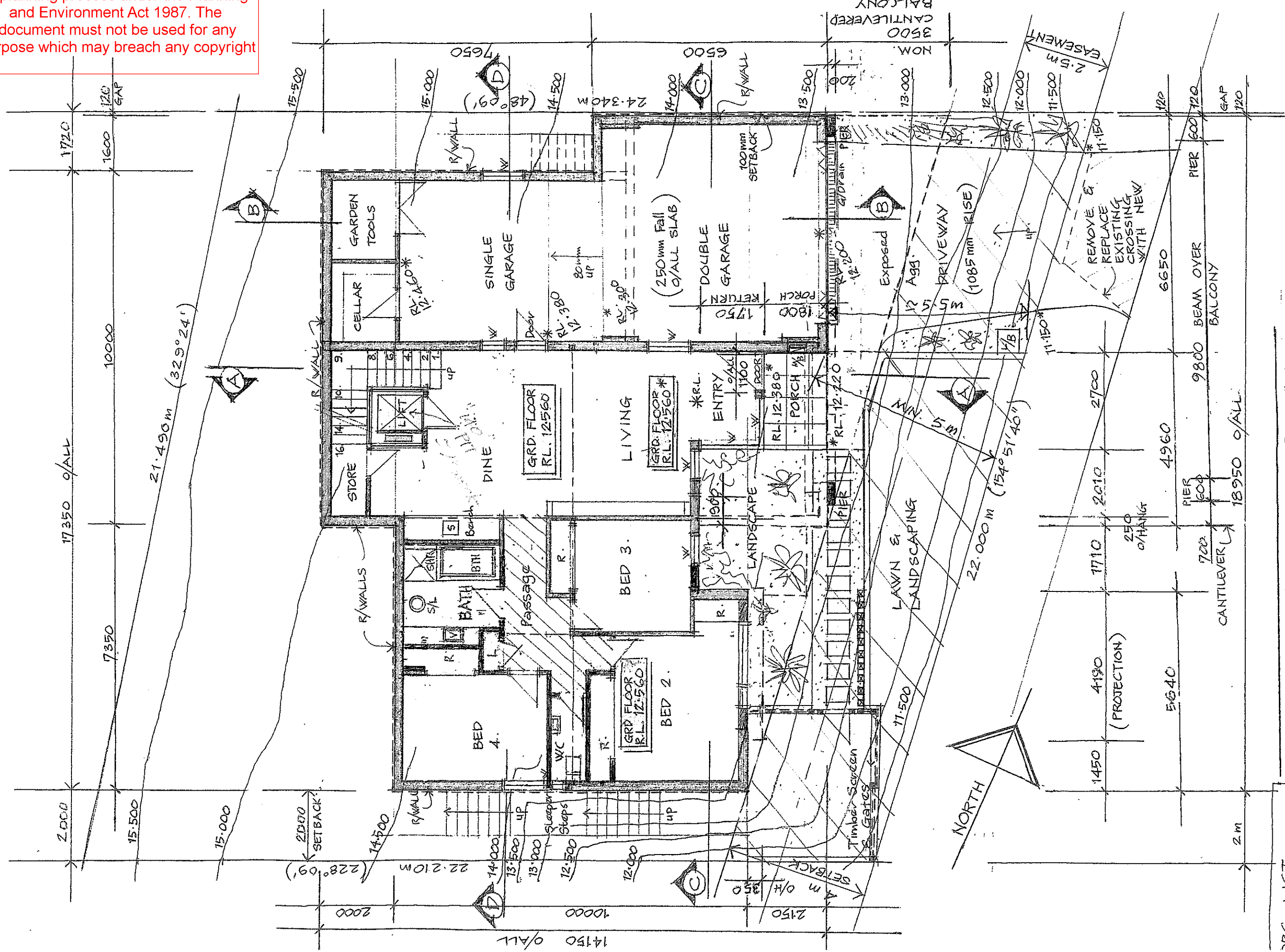
F/FLOOR PLAN 1:100

* LEVELS TO A.H.D.

PROPOSED: RESIDENCE
 AT: 8 FLAME TREE GROVE
 FOR: MR & MRS. A. ECONOMIDES
 DRG. NO. TP-02
 22/5/2016

MORNINGTON PENINSULA SHIRE

This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



GRD FLOOR PLAN & SITE PLAN

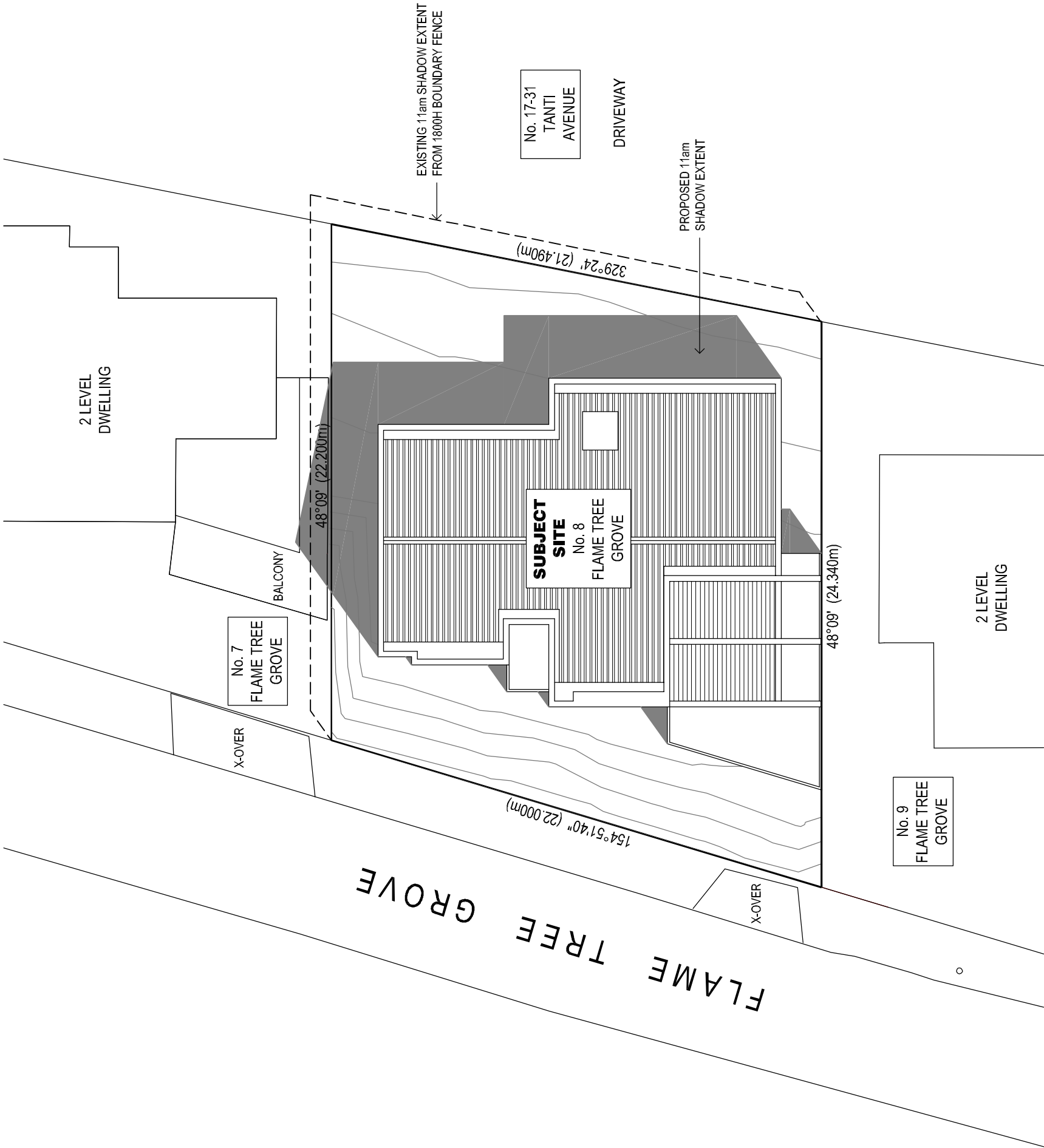
1:100

- DRG. LIST.
- TP-01 - SITE & GRD. FL. PLAN
 - TP-02 - F/FLOOR PLAN
 - TP-03 - ELEVATIONS
 - TP-04 - SECTIONS
 - TP-05 - ROOF PLAN
 - TP-06 - SITE LEVELS & EXCAVATION

* LEVELS TO A.H.D.

PROPOSED: RESIDENCE AT: 8 FLAME TREE GROVE FOR: MR. & MRS. A. ECONOMIDES
DRG. No. TP-01 22/5/2016

MORNINGTON PENINSULA SHIRE
 This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

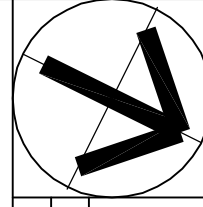


PROPOSED SHADOW DIAGRAM - 11am
 MARCH 21 - SEPTEMBER 22 EQUINOX
 1:200 @ A3

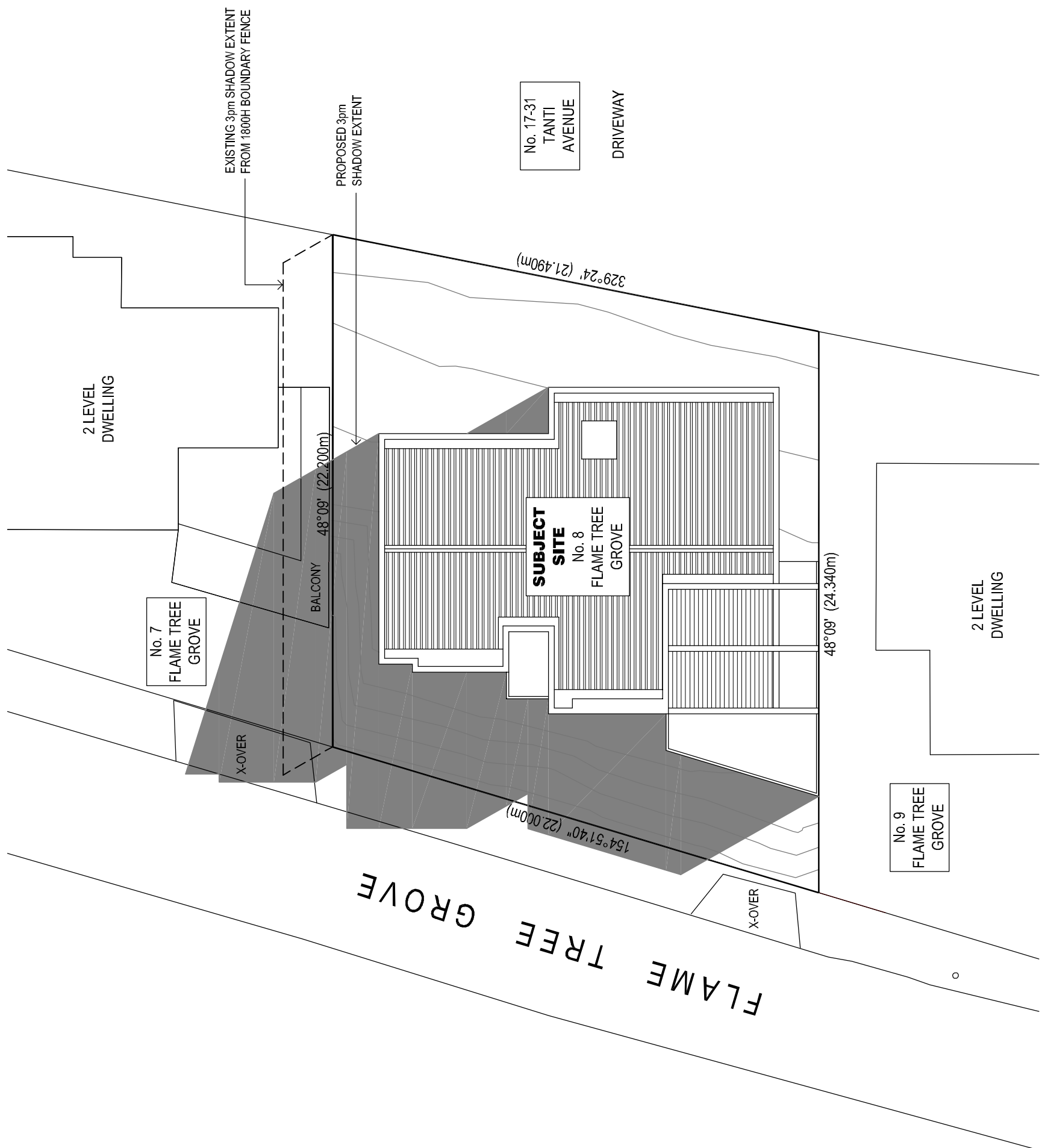
© COPYRIGHT IN THIS DRAWING AND ALL WORK EXECUTED FROM IT REMAINS THE PROPERTY OF THE DESIGNER. CONTRACTORS MUST SET OUT ALL WORK AND VERIFY ALL CONDITIONS, LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR MAKING OF ANY SHOP DRAWINGS. ALL WORK MUST BE EXECUTED IN ACCORDANCE WITH THE RULES, BY-LAWS, REGULATIONS AND REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION OVER ANY PART OF THE WORK.

DRAWN: P.A.E.		PROJECT: PROPOSED DWELLING	
CHECKED: P.A.E.		8 FLAME TREE GROVE MORNINGTON VIC. 3931	
SCALE: 1:200 @ A3		CLIENT: MR ANESTI ECONOMEDES	
DATE: APRIL 2016		TOWN PLANNING ISSUE	
PROJECT No: 216.07		Revision	
DWG No: REV		No. Date	
TP-09		AMENDMENTS	

Paul-Anj Economedes
 architect
 MOBILE: 0413 314 538
 EMAIL: paul@economedes.com.au
 POSTAL: PO Box 678 Richmond VIC 3121
 WEBSITE: www.economedesarchitecture.com.au
 ABRN: 39 909 228 803



MORNINGTON PENINSULA SHIRE
 This copied document is made available for the sole purpose of enabling as consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright



PROPOSED SHADOW DIAGRAM - 3pm
 MARCH 21 - SEPTEMBER 22 EQUINOX 1:200 @ A3

© COPYRIGHT IN THIS DRAWING AND ALL WORK EXECUTED HEREIN REMAINS THE PROPERTY OF THE DESIGNER. CONTRACTORS MUST SET OUT ALL WORK AND VERIFY ALL CONDITIONS, LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK OR MAKING OF ANY SHOP DRAWINGS. ALL WORK MUST BE EXECUTED IN ACCORDANCE WITH THE RULES, BY-LAWS, REGULATIONS AND REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION OVER ANY PART OF THE WORK.

DRAWN: P.A.E.		PROJECT: PROPOSED DWELLING	
CHECKED: P.A.E.		8 FLAME TREE GROVE MORNINGTON VIC. 3931	
SCALE: 1:200 @ A3		CLIENT: MR ANESTI ECONOMEDES	
DATE: APRIL 2016		DRAWING TITLE: PROPOSED SHADOW DIAGRAM - 3pm	
PROJECT No: 216.07		AMENDMENTS	
DWG No: REV		No. Date	
TP-11		By	
Paul-Anj Economedes architect MOBILE: 0413 314 538 EMAIL: paul@economedes.com.au POSTAL: PO Box 678 Richmond VIC 3121 WEBSITE: www.economedesarchitecture.com.au ABRN: 39 909 228 803		ECONOMEDES ARCHITECTURE 	

